

PRECINCT E2 DESIGN GUIDELINES

Medium Density Housing & Apartments



## Contents

<b>Introduction .....</b>	<b>5</b>	<b>3 Site Planning For Medium Density Housing .....</b>	<b>14</b>	<b>4 Building Design &amp; Landscape Character.....</b>	<b>25</b>	<b>4.6 Sun Shading and Other Details.....</b>	<b>34</b>
1.1 The Purpose of the Guidelines.....	5	3.1 Siting .....	14	4.1 Building Facades, Street Frontage & Character.....	24	4.7 Walls ad Fences.....	35
1.2 Aim and Structure of the Guidelines	6	3.2 Building and Siting Principles.....	15	Coastal Character.....	25	Front Fences.....	36
1.3 Approval Process.....	7	3.3 Medium Density Housing controls...16		External Materials.....	26	Corner Fences & Laneways.....	36
<b>2 Precinct E Vision and Objectives.....</b>	<b>8</b>	Articulation Zones.....	18	Verandas, Balconies, Balustrades...27		Side and Rear Fences.....	37
2.1 The Waterfront Shellcove.....	8	Dwelling Orientation .....	19	Dwelling Entry.....	27	Retaining Wall.....	37
2.2 The Waterfront Shellcove Vision.....	9	Corner Lots.....	20	4.2 Garages and Driveways .....	27	Private Access to Wetlands.....	37
2.3 Precinct E2.....	11	Studios Above Garages/Fonzie Flat.21		Treatment and Screening .....	27	4.8 Service Areas and Auxiliary Structures for medium Density Dwellings.....	38
2.4 Desired Future Character.....	12	Sloping Sites.....	22	Driveways .....	27	Aerials , Antennae, Satellites.....	38
Site Access and Street Network.....	13	3.4 Apartment Housing Controls.....	24	Sight Distance Safety.....	28	Storage and Bins.....	38
Views and Vistas.....	13			4.3 Roof Design.....	29	Solar Water Heaters & Collectors.....	38
Amenity.....	13			4.4 Universal Design & Sustainability...30		Mailboxes.....	38
Land Use and Building Types.....	13			4.5 Exterior Design Palette.....	31	Services and Water Tanks.....	38
				Preferred Materials & Colours.....	32		
				External Materials.....	33		

**Contents**

- 5 Landscape Character.....39
  - 5.1 Landscaping.....39
  - 5.2 Front Landscaping.....40
  - 5.3 Rear Landscaping.....41
  
- Appendicies.....43
  - A. Glossary.....43
  - B. External Material Colour Palette.....45
  - C. Planting Palettes.....46

## Design Guidelines For Medium Density Housing within Precinct E2

Prepared by Ethos Urban for Frasers Property Australia and Shellharbour City Council

March 2018

The Medium Density Design Guidelines have been reviewed by officers of Shellharbour City Council and endorsed by Geoff Hoynes - Group Manager City Planning, Shellharbour City Council.

A handwritten signature in black ink, appearing to read 'Geoff Hoynes', written over a light grey rectangular background.

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Signature

2 March 2018

## 1.1 Purpose Of The Design Guidelines

The purpose of the Medium Density Design Guidelines is to support the Shell Cove Concept Approval in guiding development of medium density housing and apartments within Precinct E2.

The Design Guidelines have been prepared as required by Schedule 3, Part D, Further Environmental Assessment Requirements No.1 under the Concept Plan Approval. The approval requirement states:

“The proponent must submit detailed urban design guidelines for the project prepared by a suitably qualified architect or urban designer for each stage. The guidelines must establish design controls which achieve the following where relevant to the particular stage:

1. *Architectural diversity within all stages which complements the site's coastal context.*
2. *A variety of detailed designs which avoids monotonous and repetition.*
3. *Design of the hotel building and public square in the commercial precinct which define street and water edges, and create visual interest*

4. *A hotel building with tower angled to the east to maximise views to the coast to the north and south and reduce impacts on the boat harbour and which may comprise a 3-4 storey high podium*
5. *Demonstration of a mix of dwelling types and sizes for each residential precinct, including consideration of affordable and adaptable housing*
6. *Building separation, setbacks, solar access, visual and acoustic privacy, view corridors and an adequate level of environmental amenity*
7. *Compliance with crime prevention through environmental design principles*
8. *The location and distribution of car parks*
9. *Where applicable, that SEPP 65 principles and the Residential Flat Design Code (now ADG) can be achieved*
10. *Appropriate density, bulk, scale, textures and colours in relation to surrounding development, topography and streetscape*
11. *Consistency with the NSW Coastal Policy 1997 and Coastal Design Guidelines*

12. *Layout and design which satisfies the design considerations in Healthy by Design: A Planners Guide to Environment's for Active Living, National Heart Foundation of Australia*
13. *Clear addresses for buildings fronting public walkways along the harbour and direct access from walkways where possible*
14. *An indicative staging plan identifying the likely timing and sequence for each stage*
15. *Buildings which address main avenues or boulevards and serviced by rear laneways/access ways to improve legibility and prevent gated communities*
16. *Design and layout to minimise noise impacts to sensitive residential areas near the quarry boundary.”*

These design guidelines respond to the Concept Approval Requirements applicable to Medium Density Housing and Apartments.

Note: The Design Guidelines identify and contemplate the inclusion of land that is currently outside the boundary of the Concept Approval. This land is proposed to be incorporated into Precinct E2 as part of a modification application to the Department of Planning and Environment under the provisions of Section 75W of the Environmental Planning and Assessment Act 1979. These lands are referred to as the northern lands.

The development of the subject land in accordance with the Design Guidelines can only occur following the approval of the proposed modification to include the northern lands.

The Design Guidelines will be updated at that time to reflect any further changes as a result of the assessment process.

## 1.2 Aim and Structure of the Guidelines

Frasers Property Australia has prepared The Waterfront, Shell Cove Precinct E2 Medium Density Housing and Apartment Design Guidelines to ensure the development of well-designed and sustainable homes in our new community.

The Guidelines set out the key priorities and principles in relation to medium density housing and apartment siting and design, access, landscaping and sustainability.

These Guidelines form a 'manual' for design and development at The Waterfront, Shell Cove and inform the approval process.

The Guidelines should be read in conjunction with the National Construction Code (NCC) and all relevant legislation and Australian Standards.

The Guidelines are set out as follows:

**Section 1** – Introduction, Aim and Structure of the Design Guidelines.

**Section 2** – Desired future character and the key design principles for medium density and apartment development.

**Section 3** – Site Planning, which provides

general guidance on siting arrangements such as building types, access and building envelopes.

**Section 4** – Building Design & Architectural Character, which provides guidance on house design, character, and detailing.

**Section 5** – Landscape Character, which provides guidance on landscaping elements including planting and hardscape detailing.

**Appendices** – The document glossary, Waterfront Shell Cove colour palette, and landscape palette for Medium Density Housing.

1

### INTRODUCTION

- Aim and Structure of the Guidelines

2

### DESIRED FUTURE CHARACTER

- Precinct E

3

### SITE PLANNING FOR MEDIUM DENSITY HOUSING & APARTMENTS

- Siting Requirements

4

### BUILDING DESIGN

- Architectural Character and Sustainability

5

### LANDSCAPE CHARACTER

- Landscape Character & Sustainability

### APPENDICES

- Glossary
- Building Facade Colour Palette
- Landscape Palette

## 1.3 Approval Process

The Waterfront, Shell Cove approval process for medium density housing and apartments is indicated on the right.

These guidelines have been endorsed by Shellharbour City Council.

Following a review of the Design Guidelines and the preparation of an integrated Development Application (DA), the first step is to arrange a pre-lodgement meeting with Shellharbour City Council (Council) to discuss the proposed housing.

The required DA documentation should then be prepared and be lodged with Council for approval. The DA should provide description of the proposals and general compliance with the Concept Plan Approval Design Guidelines outlined within this document.

Merit based assessment will consider variations to the guidelines where the relevant objectives and superior built form and/or improved environmental living outcomes are achieved including improved building bulk and scale. Any variations will be considered by council as part of the DA assessment process.

Following the DA approval, a Construction Certificate (CC) approval from Council or a Principal Certifying Authority (PCA) will need to be issued before construction can commence.

Should variations to the design be sought after approval has been granted, a Section 96 Modification Application will need to be prepared and lodged with Council.

Future building extensions or renovations will also require approval by Council.

Refer to Shellharbour City Council for further details regarding the approval process.

1

### DESIGN DEVELOPMENT & PROPOSAL

- Review Design Guidelines
- Prepare a Pre-DA document package

2

### PRE-LODGE MEETING WITH SHELLHARBOUR CITY COUNCIL

- Site Analysis, Site Plan and Floor Plans
- Preliminary drawings and Elevations with dimensions

3

### ASSESSMENT OF DEVELOPMENT APPLICATION BY SHELLHARBOUR CITY COUNCIL

- Refer to Council for their DA submission requirements
- DA Approval

4

### ISSUING OF CONSTRUCTION CERTIFICATE BY SHELLHARBOUR CITY COUNCIL OR PRINCIPAL CERTIFYING AUTHORITY (PCA)

- Council / PCA CC submission requirements
- CC approval

5

### CONSTRUCTION

- Approved Construction Certificate from Council / PCA
- Construction
- Completion of Dwellings and Landscape

6

### ISSUING OF CONSTRUCTION CERTIFICATE BY SHELLHARBOUR CITY COUNCIL OR PRINCIPAL CERTIFYING AUTHORITY (PCA)

- Approved Occupation Certificate from Council / PC

### 2.1 The Waterfront Shell Cove

The Waterfront, Shell Cove is a master planned award winning residential community created by Frasers Property Australia and Shellharbour City Council. Located within the Illawarra Region of NSW just south of Wollongong, the coastal Shell Cove will become a home for more than 5,000 people with a bustling boat harbour and marina.



Figure 1: Figure 1: The Waterfront Shell Cove Source: Cox Architecture



## 2.2 The Waterfront Shell Cove Vision

The Waterfront, Shell Cove and its Town Centre will create a major regional boating destination and waterfront marina lifestyle and social hub for both residents and the wider South Coast community.

The vision for the Waterfront, Shell Cove is to create a new vital coastal community, with a strong local and regional focus on the boat harbour, which is unique to the natural beauty of the Shellharbour Coastline.

The Waterfront, Shell Cove will embody a sustainable built environment that harnesses the natural qualities of the locality with a contemporary coastal character reflective of the relaxed lifestyle of the region.



FIGURE 2: Artist's Impression of The Waterfront Shell Cove Precinct showing the location of Precinct E2

The character of the Waterfront Precinct at Shell Cove should reflect the contemporary Australian coastal vernacular. It should be designed and built for the local climate, environment and lifestyle. There are several key features that are considered to be essential design elements in the Waterfront Precinct. These include:

- A balance of building types and heights which respond to the topography and natural setting;
- A design that is identifiable with, and has strong connections to its surroundings and wider setting;
- Designing sensitively, the interface with the public domain, to reinforce the integral connections to the natural landscape and relationships between built form and Harbour;
- Front and rear setbacks that encourage landscaping and porous views and vistas to natural elements including Boat Harbour and Wetland Park;
- Large verandas and alfresco areas that provide quality private open space and extend indoor living spaces in both

front and rear setbacks;

- Materials that reflect the coastal location of Shell Cove i.e. weatherboards and lightweight cladding, timber elements, awnings, framing and balustrade elements;
- Contemporary facades and roof forms;
- A mix of eaves, pergolas, awnings and external louvres that respond to the Shell Cove microclimate and shade and protect windows and external living spaces such as verandas and courtyards;
- Windows, doors and skylights appropriately sized and oriented to admit direct sunlight and allow cross ventilation;
- Glazing that supports the Australian conditions and supports the transition between indoor and outdoor living areas; and,
- Elements that will contribute to the distinctive character of Precinct E include building scale, articulated streetscapes, fencing, private open space courtyards coastal colours and materials, and landscaping.

*Australian Coastal  
Diversity  
Connections  
Identity  
Sustainability  
Natural elements  
Views and Vistas  
Public Domain  
Boat Harbour*



## 2.3 Precinct E2

Precinct E2 is located to the west of Boat Harbour, at the interface between existing surrounding low density residential development. It represents the second stage of residential development within The Waterfront, Shell Cove development and the transition zone into the Waterfront Shell Cove community. Precinct E2 is distinguishable by its mix and diversity of distinctive architecture, detached housing on land and medium density housing typologies.

Precinct E2 is divided into two sub-precincts, Land Precinct E1 (Low Density) and Precinct E2 Medium Density, as indicated in Figure 3. The buildings shown in Figure 3 are indicative only and are subject to future development approval by the relevant consent authority.

Precinct E1 is characterised by detached, low density housing types.

The Medium Density area represents the transition area between the low density housing in the north and higher density housing and mixed uses around the Shell Cove Town Centre to the south.

Dwelling numbers and type are to be generally in accordance with Concept Plan Approval (07\_0027).

These guidelines have been prepared specifically for medium density housing and apartments within Precinct E2 as identified in Figure 3.



Figure 3: Precinct E2, showing areas for land and medium density Source: COX Architecture

 Northern Lands Inclusion subject to future approval

Note: Figure 3 includes building types and building locations reflected in a current application to the Department of Planning and Environment to modify the Concept Plan Approval.

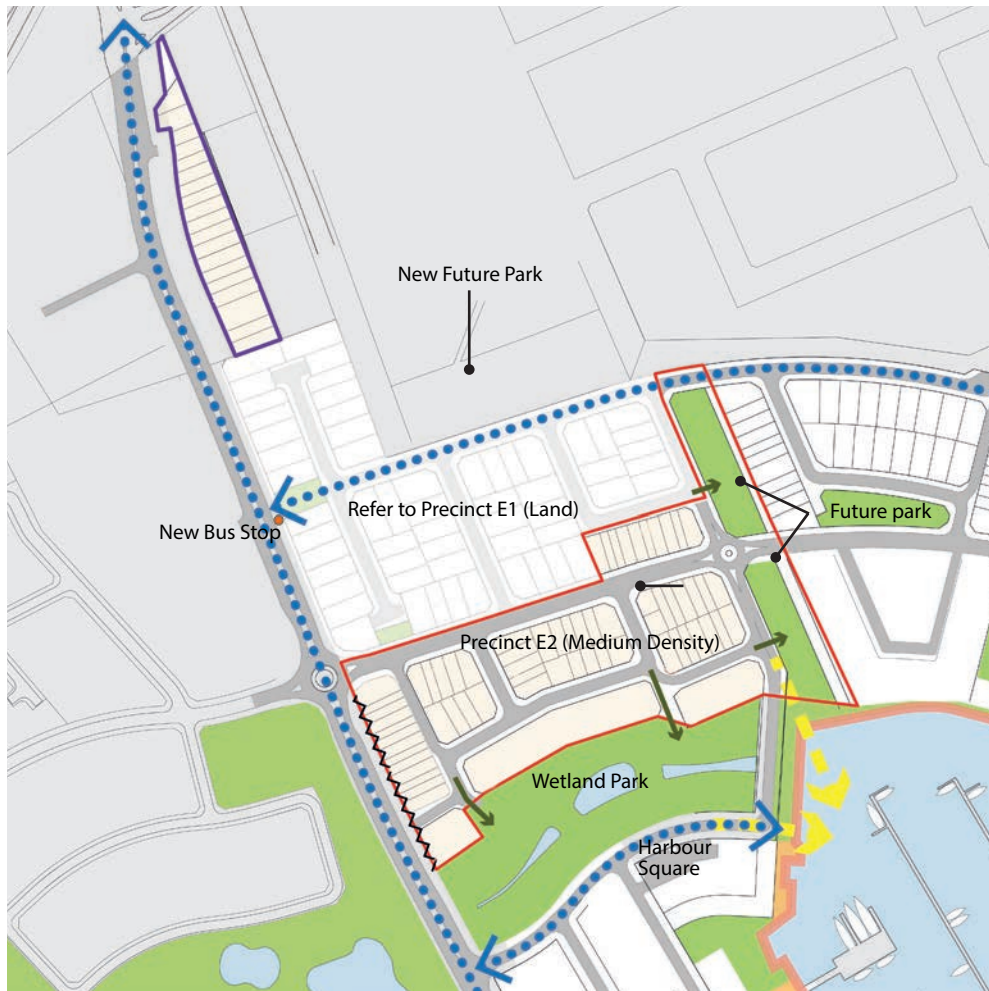


Figure 4: Illustration showing location of medium density housing in Precinct E21. Source: COX & Ethos Urban

 Northern Lands Inclusion subject to future approval

Note: Figure 4 is indicative only. The detailed street layout, public domain areas/open space, and dwelling lots are subject to future approval.

## 2.4 Desired Future Character

This section describes the urban design attributes and desired future character of the Medium Density Precinct. It discusses the street and block patterns, lot layouts, typologies, open space and pedestrian connections which contribute to give it its character.

Precinct E2 is framed by Harbour Boulevard to the west, a major view corridor and street, an extension of Brigantine Drive from the west along the north of the Precinct, the Sophia Street extension and open space corridor to the east and the Wetland Park and east-west open space corridor to the south. The Shell Cove Town Centre is located beyond the Wetland Park to the south.

The land is relatively flat with a gentle slope towards the Harbour located to the south-east.

Medium density housing has been located in this Precinct to maximise water views and residential amenity, fronting the new wetland park and marina, while providing density in proximity to open space and the Shell Cove Town Centre to the south.

Sections 3, 4 and 5 of this document provide detailed site planning, building design, architectural and landscape character guidelines for medium density housing located in Precinct E2 and identified in Figure 4.

### Site Access and Street Network

- Vehicular access to Precinct E2 is from Harbour Boulevard and Brigantine Drive.
- An open space link provides a pedestrian connection to Harbour Boulevard and a link to a future bus stop.
- Local roads form a loose grid and provide access and address to all medium density housing.
- The hierarchy of streets and roads that reinforce movement and the spatial structure of the The Waterfront.

### Views and Vistas

- Vistas to the water and Harbour are maintained along north-south aligned view corridor streets and secondary roads.
- Views to the Southern Park and Town Centre encouraged via north-south streets.
- Development should respond to the alignments and ensure adequate setbacks to maintain view corridors.

### Amenity

- Pedestrian and cycle connections to the Wetlands Park and Harbour Promenade run through mid-blocks along the southern blocks of Precinct E2 and north-south street connections.
- Development provides a strong street address to the public domain and fronting public streets reinforcing the movement patterns within the Precinct.
- Pedestrian and cycle linkages and public open space is to be designed in accordance with the relevant crime prevention through environmental design principles.

### Land Use and Building Types

- A mix of medium density housing typologies provides a variety of architectural expression within Precinct E2 and complements the coastal context.
- Apartments, garden studios, Fonzie Apartments, townhouses and front and rear loaded types are sited to respond to the street and reinforce the structure of the Precinct.
- A mix of building heights are distributed within the Precinct between 2 to 4 storeys.
- Apartments along Wetland Park, in locations consistent with those identified in the Concept Plan Approval, provide access from the new street to provide amenity along the open space corridor.



### 3.1 Siting

Section 3 is concerned with the relationship of medium density housing to other development within the Precinct. It deals with the siting of buildings relative to surrounding development as well as considering the arrangement of elements of the buildings themselves. It considers the orientation of main living rooms and private open space, the location of garages, and the design of building envelopes.

Precinct E provides for a choice of housing options to meet a variety of lifestyle needs and family types. Buildings have been sited to maximise views to the Harbour and respond to the landscape setting.

These design guidelines relate to the following living options or building types within the Medium Density zone of Precinct E:

- Duplexes;
- Townhouses;
- Small Lot Detached Dwellings;
- Zero Lot Dwellings;
- Garden Studios/Corner Dwellings;
- Studios above garages (Fonzie flats);
- Apartments.

This document provides design guidelines for all medium density building typologies that are not governed by SEPP 65 and the NSW Apartment Design Guide.

Where Residential Flat Buildings are proposed, they must be sited to enable the achievement of the 9 design quality principles in SEPP 65 and the relevant aims and objectives within the NSW Apartment Design Guide.

The key controls for the siting of medium density dwellings are identified in Table 1.



Garden Terrace



Breeze Townhouse



Coral Townhouse



Studios above garages (Fonzie flats)

### 3.2 Building and Siting Principles

Each building or dwelling should be designed to respond to its unique site conditions. It should be designed to respond to the slope of the land, views and vistas, breezes, solar orientation, access opportunities and any neighbourly amenity issues such as privacy or overshadowing.

The siting of dwellings will need to be carefully considered to address:

- Slope of the land and water run off;
- Slope of the land and orientation to views;
- Location of living spaces and gardens orientated for good solar access in winter and to provide sun shading in summer;
- Strong connection between living spaces and external spaces;
- Orientation to catch prevailing breezes in summer months and to protect from adverse weather;
- Setbacks to streets and lot boundaries;

- Access requirements of vehicles and pedestrians;
- Maximum building envelopes;
- Neighbouring dwellings; and
- Requirements of services and easements.

These considerations will vary depending on the dwelling type and its orientation.

For example, northern orientation is most desirable for living rooms and private open spaces. Where passive street surveillance and/or good views conflict with this, open/flow-through living plans that maximise opportunities for dual aspect should be considered.

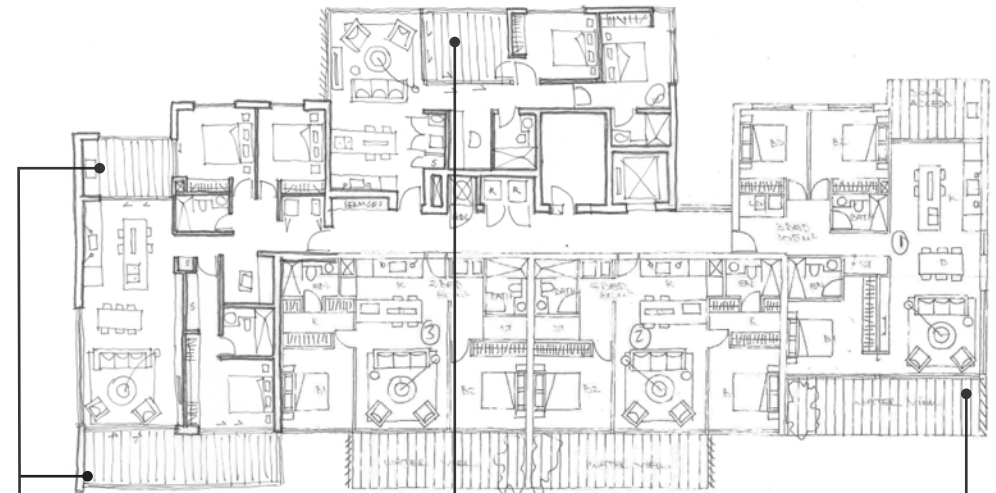


Figure 5: Apartments should be designed having regard to its neighbours and respond to the unique features of the site

Private open space located to maximise solar access, views and breezes.

Private open space and balconies offset to maximise privacy between neighbouring dwellings

Connections between living spaces and external spaces

### 3.3 Medium Density Housing controls

Precinct E (Medium Density) provides for a range of sites suitable for medium density housing. The combination of controls aim to create a cohesive yet diverse streetscape and landscape character. These include the siting of the building, the building itself and its landscape character.

#### Key Controls

A summary of key development controls for the siting of Medium Density development is set out in Table 1 and further illustrated under relevant sub-headings in the following pages. The objectives for the key controls are set out in Table 1 and 2.

Medium density housing must be located within the Medium Density Precinct identified in Figure 4.

#### Medium Density Housing - Objectives for Key Controls

Element	Objectives
Lot Size	<ul style="list-style-type: none"> <li>to achieve an orderly subdivision pattern for Precinct E2,</li> <li>to deliver the desired future character envisaged for Precinct E2,</li> <li>to enable Precinct E2 to be developed to achieve an appropriate density in accordance with the concept plan approval.</li> </ul>
Building Height	<ul style="list-style-type: none"> <li>to ensure the height of buildings complements the streetscape, the medium density urban character of Precinct E2, and proximity to the town centre,</li> <li>to ensure the height of buildings maintains reasonable amenity to neighbouring properties in terms of visual bulk, access to sunlight, privacy and views,</li> <li>to protect identified public view corridors.</li> </ul>
Setbacks (Primary Street) Setbacks (Secondary Street) Setbacks (Side) Setbacks (Corner Splay) Setbacks (Rear) Setbacks (wetlands)	<ul style="list-style-type: none"> <li>to provide setbacks that reinforce the desired streetscape pattern and to allow for landscaping and open space to enhance the streetscape.</li> <li>to ensure view corridors are maintained,</li> <li>to maximise useable north facing private open space where possible,</li> <li>to provide adequate solar access, visual privacy and appropriate building bulk.</li> <li>to ensure that the siting of buildings provides adequate separation for the amenity of residents and adjoining properties.</li> <li>to reinforce corner locations</li> <li>to maximise amenity and minimise noise impacts for residents from busy roads.</li> <li>to maintain appropriate solar access, view corridors and building separation to wetlands and public open space</li> </ul>
Private Open Space	<ul style="list-style-type: none"> <li>Dwellings provide appropriately sized private open space and balconies to enhance residential amenity</li> <li>Primary private open space and balconies are appropriately located to enhance liveability for residents</li> </ul>
Solar Access	<ul style="list-style-type: none"> <li>To optimise sunlight to habitable rooms and private open spaces having regard to lot orientation, design constraints and opportunities,</li> </ul>
Car Parking	<ul style="list-style-type: none"> <li>Car parking is provided appropriate for the scale of the development</li> </ul>



## Key Controls - Medium Density

Element	Parameters	Requirement	Measurement
Lot Size	Minimum	110m <sup>2</sup>	Minimum lot width 5.2m
Building Height	Storeys	Building heights are not to exceed the maximum height approved under the Concept Plan Approval (MP_0027).	
Setbacks (Primary Street)	Building Frontage	3.0 m	minimum
	Articulation Element	1.0 m	minimum
	Garage Frontage	5.5 m	minimum (to garage door)
Setbacks (Secondary Street)	Building	2.0 m	minimum
	Articulation Element	1.0 m	minimum
	Garage Frontage	0.5 m	minimum (to garage door)
Setbacks (Side)	Building	0.9 m	minimum
	Attached	0 m	When attached or partially attached to another dwelling or garage (no maximum length)
	Zero Lot	0.15 m	Small Lot Detached Housing, Fonzie Flats, Studio and Garages only (maximum 75% of lot length for maximum 2 storeys)
Setbacks (Corner Splay)	Building	1 m	minimum
	Articulation Element	0.5 m	minimum (including Garages/Fonzies)
Setbacks (Rear)	Building	4.0 m	minimum (excluding Alfresco)
		4.5 m	minimum (including Alfresco)
	Attached	0 m	minimum
	Zero Lot	0m	Fonzie, Studio and Garages only (maximum 80% of lot length)(maximum two storeys)
Private Open Space	Per dwelling	16m <sup>2</sup>	minimum dimension 3m
Solar Access	Living rooms or private open space	1sqm of glass or ground	A living room or private open space in each dwelling is to receive a minimum of 2 hours direct sunlight between 9am and 3pm on 21 June.  Direct sunlight is achieved when 1sqm of direct sunlight on the glass or ground is achieved for 15 minutes. To satisfy 2 hrs direct sunlight, 8 periods of 15 minutes will need to be achieved – the 15 minute periods do not need to be consecutive. A minimum of 75% of dwellings must be compliant.
Car Parking	2 bedroom rear-loaded dwelling	1 car space	Located on lot
	2 bedroom front-loaded dwelling	2 car spaces	Located on lot, Minimum 1 space covered
	3+ Bedroom dwelling	2 car spaces	Located on lot, Minimum 1 space covered

Table 3 is a summary of key controls for medium density development within Precinct E. This table must be read in conjunction with all detailed design guidelines outlined within this document. Variations to the above controls may be considered on a merit basis. See 1.3  
Definitions of the terminologies used above are provided in Appendix A Glossary.

## Articulation Zones

Articulation zones encourage architectural features which provide diversity to the building's facade and architecture.

Features such as verandas, porches, pergolas or alfresco areas may project a maximum of 2m forward of the building line and setback. With the exception of alfresco areas, such features may be combined with upper level balconies within a 2 storey dwelling or building to provide visual interest, weather protection and sun shading.

Rear setbacks should incorporate a deeper articulation zone of 4.5m to allow for generous backyard alfresco areas.

The design guidelines encourage a design led approach to the incorporation of verandas, porches and balconies. Where the front setback is greater than the 3m minimum requirement, verandas, porches and balconies can increase their projection equivalent to the distance the 3m is exceeded by, provided it can be demonstrated that the projection will not have any adverse impact on the streetscape character.

Front building line and setback

Articulation zones may include porches, verandas and facade treatments that do not project more than 2m forward of the building line



Figure 7: Articulation zones for medium density housing  
Source: Fraser's Property

Facade treatments and projections

## Dwelling Orientation

Orientation influences solar access and the following siting principles should be considered when designing dwellings and their private open space areas.

- For properties with primary street north-south orientation:  
Maximise usable north-facing private open space areas such as front yards, porches and verandas including increasing front setbacks where possible.
- For properties with north-south orientation:  
Maximise north facing rear yards connected to living areas with open/ flow-through plans. Garages should be sited on southern primary street frontage.
- Harbour Boulevard frontage and rear secondary street:  
Provide for a building address to the Harbour Boulevard and Secondary Street frontages. Maximise setbacks to Harbour Boulevard. Two storey elements are encouraged to address Harbour Boulevard. Courtyard housing forms are preferred to provide central north facing courtyards and frontyards
- For properties with east-west orientation:  
Deeper northern side setbacks to maximise solar access into dwellings and locate private open space areas to this elevation.
- For properties with diagonal orientation:  
Maximise usable verandas, porches and alfresco areas to the north-east and north- west.

## Corner Lots

Where a building is sited on a corner allotment, its design must address both streets and 'turn the corner'. Different geometries, forms and setbacks should mark the corner location addressing both streets and facades. Elements such as windows, wall materials, colours, sunshades etc, should address and wrap around the corner.

Splayed corners and corner emphasis can incorporate upper level projections or setbacks or different material expressions.

Special fencing requirements for corner lots also reinforce the distinctive character of the corner lot (refer to Section 4.7).

Vehicular access is preferred from rear laneways (where available) or secondary streets.

On north facing lots, rear access is particularly preferable to maximise the number of north-facing habitable rooms to the street.

For garden studios, corner dwellings, garages for adjoining dwellings, may abut (with zero physical separation).

## Objectives

- Ensure development on corner lots reinforces this location by addressing both streets at ground and upper levels.

## Design requirements

- Corner lots are to have a minimum secondary street (side) setback of 2m average minimum.
- The maximum length of a garden studio is 75% of the lot length.
- An articulation zone of 1m is allowed to the secondary frontage to encourage the incorporation of building elements that also turn the corner, for example projecting sun screens, balconies and pergolas.



Figure 8: Development on Corner Lots. Source: Fraser's Property

Articulation zones may project 1m forward of the building line on secondary street frontage.

Minimum 2m side setback to secondary street

Building articulation element may project to 0.5m on splay corner

Front fences are to be designed to address both frontages

### Studios Above Garages/‘Fonzie Flats’

Studios above garages or ‘Fonzie flats’ may be located over double garages where accessed from a rear laneway or to the rear of corner lots with access from a secondary street.

Studios/Fonzie Flats should only be located above double garages.

Studios/Fonzie Flats which are separate dwellings may be on a separate title.

To ensure compatibility of scale, studios may be permitted only where the main dwelling on the block is two storeys or more.

#### Objectives

- The materiality and form of the Fonzie Flats should be consistent with the main dwelling.
- Ensure that Fonzie Flats promote casual surveillance of laneways and secondary streets
- Private open space, which may include Juliet balconies, is to be provided to Fonzie flats on a merit basis.

#### Design Requirements

- A maximum of 20% of garages in the Precinct may have studios above the garage. Each DA is to demonstrate how the 20% is being achieved across Precinct E2
- Studios/Fonzie Flats should be

located over a double garage. Their location throughout precinct E2 will be appropriately distributed to ensure good passive surveillance over the entire secondary street.

- Studios/Fonzie flats are permitted to be zero lot lined where garages are the same.
- Studio apartments on the same title as the primary dwelling house will utilise the house parking (2 spaces) and any separately titled studios will have a separate parking space in addition to the primary dwelling parking. Separate title is not permitted for studio apartments which do not have their own car space independent of the main dwelling.

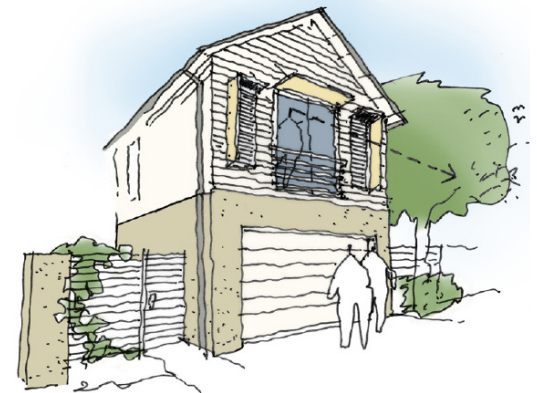


Figure 9: Studios above double garages  
Source: LFA

## Sloping Sites

Development on sloping land should be designed with appropriate regard to the topography. Excavation should be minimised and split levels and basements should be considered as an appropriate design response to reduce the overall impact upon the land. For front to rear slopes, step the buildings down the slope. For cross slopes, a mid step in the floor plan can avoid excessive retaining walls on lot boundaries. For medium density housing basement carparking is considered best located in the basement levels for front loaded sites.

### Objectives

- Building designs must respond to the topography of the site and excavation should be minimised.

### Design Requirements

- Maximum 1m cut and fill.
- Retaining walls forward of dwellings to be masonry and should complement the building design.
- Terracing of retaining walls and incorporation of landscape screening is encouraged.
- Retaining walls on street boundaries must comply with fencing controls under the relevant heading.
- Dwelling designs are to ensure reasonable visual privacy to the adjoining dwellings.
- Retaining walls in the rear garden should be at least 3m from the rear of the house to allow for a level connection.

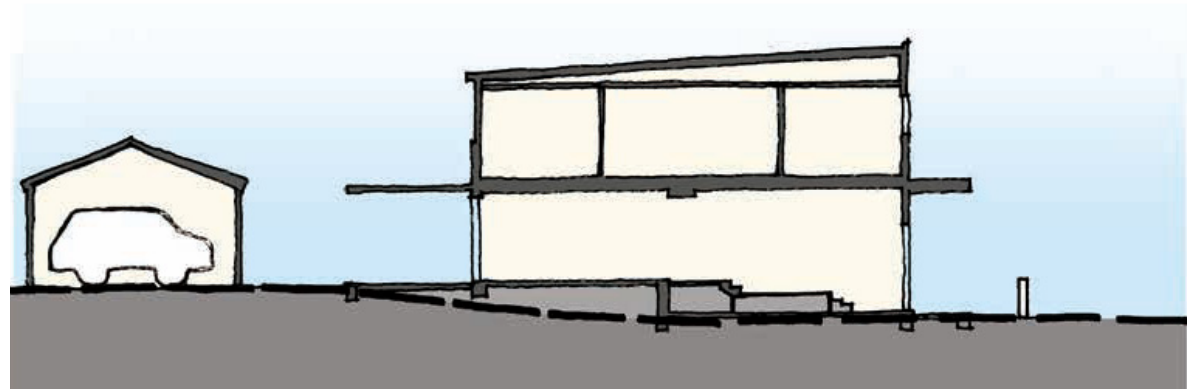


Figure 10: Development on sloping land. Source: Cox

### 3.4 Medium Density Apartments

Precinct E2 (Medium Density) aims to provide for a range of dwelling typologies that support a mix of households, adaptability, a diversity of built form and character, and offer more affordable housing products.

Apartment typologies are proposed as a way to meet the density and yield requirements of the Part 3A Concept Approval.

They are to be located along the Wetland Park within Precinct E2 (subject to compliance with the Concept Plan Approval) and offer more compact and sustainable living options in close proximity to amenity and the Waterfront Shell Cove Town Centre.

The overarching control framework for apartments within Precinct E2 (Medium Density) is SEPP 65 - Design Quality of Residential Flat Development and the NSW Apartment Design Guide.

The siting of the apartment buildings responds to the topography and natural

landscape setting, maximising the view amenity to Shell Cove Harbour and placing density adjacent to amenity. Apartments are intended to be designed utilizing similar materials and expressions as other forms of medium density housing in the Precinct to create a cohesive, yet diverse streetscape and landscape character expressed at different densities and yields.

#### Key Controls - Medium Density Apartments

Apartment typologies are to be designed to ensure that they meet the aims, objectives and principles of SEPP 65 Design Quality of Residential Flat Development and the NSW Apartment Design Guide. Proposed variations to the design criteria must be supported by information at the development application stage that demonstrates how the aims, objectives and principles of SEPP 65 and the NSW ADG are achieved.

Car parking – Precinct E2 is not located in a nominated area for calculating car parking under the NSW Apartment Design Guide.

Therefore, the Council's DCP rates apply. Any variation to the Council's DCP parking requirements is to be supported by a Traffic and Parking Study. This would need to include a long term/broad area demand and supply assessment.

#### 4.1 Building Facades, Street Frontage & Character

Precinct E2 will be defined by a built form that references its natural coastal setting that has memorable streetscapes and incorporates attractive facades, reflective of the natural materials and characteristics of the Shell Cove Precinct. It will have a high quality, contemporary architectural composition defined by its landscaping reminiscent of the NSW South Coast.

The building facades and character of buildings at The Waterfront Shell Cove should reflect the coastal location and articulate the sustainable focus of the community.

Facades should respond to the Shell Cove microclimate, explore different elevation treatments related to orientation, incorporate durable materials and finishes suitable for coastal conditions and display a variety of external shading components.

The design quality of facades will also be influenced by the articulation of facade elements, innovation in environmental sustainability, proportion, transparency, the interplay of light and shade, materiality and colour.

Forms of articulation include blade walls, steel and natural timber posts, entries, balconies, verandas, pergolas, screens, awnings, feature walls and a combination of external materials.

Design requirements

- All buildings are to meaningfully contribute to the character of The Waterfront Shell Cove through quality design composition of facades.
- Facades should provide a richness of detail and design interest especially at visually prominent locations.
- Designs should demonstrate a clear relationship between the collection of building forms and the individual facade and elements.

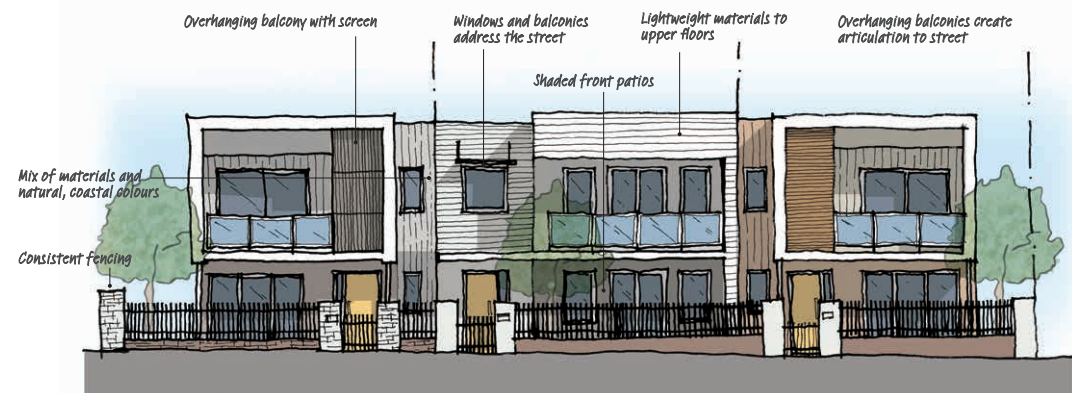


Figure 11: Streetscape character of Precinct E  
Source: COX Architects



## Coastal Character

The design of dwellings should contribute to the contemporary coastal setting encouraged at The Waterfront, Shell Cove.

### Design requirements

- Maximising indoor/outdoor relationships that create a sense of 'openness' and 'transparency' with opportunities for 'outdoor' rooms, verandas, balconies and porches.
- Use of materials, colours and textures that reflect the natural coastal landscape.
- Incorporation of landscaping as an element that links new development to the existing coastal setting.

## External Materials

Building facades of predominately lightweight materials are encouraged to reinforce the coastal character of the community.

### Design requirements

- The creative use of contrasting/complementary lightweight materials is encouraged particularly to upper building levels. Materials can include timber or reconstructed weatherboards, plywood, compressed fibre cement products and metal cladding.
- A mix of external materials is required.
- At least two complementary materials or finishes should be used for facade articulation.
- All materials and finishes to resist coastal elements and be easily maintained.
- Refer to Section 4.5 and Appendix B for the preferred external materials palette.



Figure 12: Example of external building materials to be used in Precinct E Source: Fraser's Property

## Verandas, Balconies, Balustrades

Oversized and generous verandas, porches and balconies are encouraged to take advantage of the favourable Shell Cove climate and opportunities for transitional indoor/outdoor spaces.

Balconies, verandas and porches can be incorporated within the articulation zone of 2m within the front setback.

### Design requirements

- Balconies and verandas to be a minimum depth of 1.5m.
- Doors and windows should generally be more than 50% of the balcony or verandah width to maximise indoor/outdoor relationships.
- Detailing of balconies and balustrades should be generally open in style and reflect a coastal character using vertical timber battens, steel, mullion-less clear or opaque glass or a combination.

## Dwelling Entry

Dwelling entries should meaningfully engage with the street and integrate well in the design of the building. Entrances contribute to the character and legibility of a street and the overall facade composition.

They should provide for weather protection and equitable access.

Where possible, provide safe, continuous, step free pathways from the street entrance and/or the parking area to the dwelling entrance.

### Design requirements

- The design of the entrance should provide interesting detail and contribute to the articulation of the building.
- A front verandah, porch or covered area (by way of an awning or similar) should be provided at, or over, the dwelling entrance to provide weather protection.
- The front door opening should be a clear 850mm minimum width to accommodate wheelchair use.

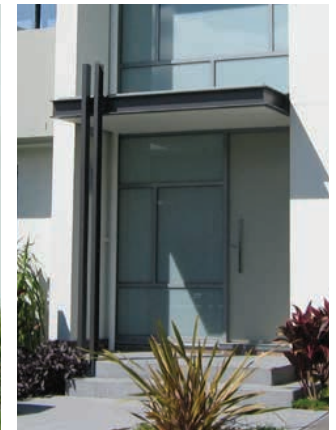
- Where principal private open space is located within the front building setback, for privacy and security, the principal private open space must be physically separated from any pedestrian property entrance/pathway to the dwelling entrance. This can be achieved with a lockable and secure front gate with intercom or structural elements including landscaping or fencing.



Overhanging verandas



Covered porches



Weather protection to entries

## 4.2 Garages and Driveways

Garages for medium density housing are located at the front and rear of dwellings across the Precinct. Garages and driveways should be designed to integrate well into the street and not dominate its character.

Variation in garage design, setbacks behind the front building line and articulation zones that allow for modulation and opportunities for landscaping, will serve to provide visual interest in the street and reduce the prominence of the garage facade.

Some rear double garages may have studio dwellings above (i.e. Fonzie flats) and should include small Juliet balconies and/ or windows overlooking the laneway or secondary street for casual surveillance opportunities.

### Objectives

- Detached garages should match the main dwelling roof form and materials.
- Driveways should be integrated with the design of the front landscape area and complement the building design.
- Provide for sight distance safety

### Design Requirements

- Refer to Table 1 for car parking requirements.
- The maximum garage opening is to be no greater than 6m (double garage).
- Where garages are located to the primary street, they are to be setback a minimum of 0.5m behind the main building facade.
- Where lots have laneway access, vehicle access and parking should be from the laneway.
- For corner lots, vehicle access and parking is preferred from the secondary street or the rear.
- Garages in laneways must be set back a minimum of 0.5m from the rear property boundary. Any studios or balconies above can be to the rear property line. Structures adjacent to the rear lane are not to impede the operation of waste collection vehicles.
- Any space between the lane and garage is to be paved, in coloured or exposed aggregate concrete.

- Minimum dimensions for car parking spaces are to comply with Australian Standards (AS/NZ 2890.1:2004 Parking Facilities - Off Street Parking).

### Treatment and Screening

- Garages are to be constructed in materials and finishes to match or integrate with the main dwelling.
- Garage doors are to be of contemporary design.
- Segmented door systems including panel lift and sliding doors are preferred with long horizontal paneling.
- Vertical roller doors are not permitted.

### Driveways

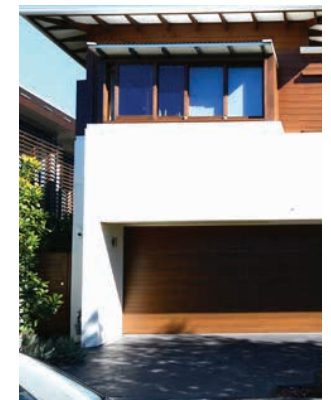
- Driveways and paved areas should be minimised.
- Hard surface, double driveway widths should be limited and only behind the property boundary if necessary.
- Uncoloured plain concrete and bitumen should be avoided.
- There should be landscaping between the driveway and side boundary.



Landscaping on laneways



Materials that integrate



Recessed Garges

## Sight Distance Safety

- Where zero lot line garages are permitted to the rear secondary street frontage, verges and footpaths in Precinct E2 have been designed to achieve adequate sight distance safety.
- The following urban design measures have been incorporated to ensure safe ingress/egress between your dwelling and the street in accordance with the applicable standard:
- The verge width (measured from the face of the kerb to the property boundary) is 4.5m in these locations. The top of the kerb is 150mm wide, providing 4.35m between the property boundary and the back of kerb.
- 1.2 metres wide pedestrian footpath will be provided 600mm behind the back of kerb. This provides a width of 2.55m between the property line and the pedestrian interface. This provides adequate sight distance where garages are constructed on the property line.
- Roll kerb and gutter will be provided so that vehicle access can be achieved

without construction of laybacks, which would otherwise cause undulation in the pedestrian path.

- The above measures have been incorporated into the design of the secondary (rear) streets for lots fronting onto Harbour Boulevard in Precinct E1 and the medium density lots on the northern side of Brigantine Drive in Precinct E2 to the south east of Precinct E1.

Elsewhere, 1.2m wide paths will be provided a minimum of 2.5m from garage doors.

For instance secondary streets with a 0.5m garage setback will have the 1.2m wide path, 2m from the property boundary.

### 4.3 Roof Design

The roof is a key component of the design expression of a dwelling. Quality roof design considers the contribution of the roof to the overall performance and function of the building. A variety of simple roof forms and parapets are encouraged along the streetscape.

#### Objectives

- Roof design is to be treated as an integral part of the overall design of the dwelling.
- Articulated roof forms are encouraged to provide solutions for natural light and ventilation, summer shade and winter sun penetration to the interiors.

#### Design requirements

- Roofs should be simple in form with gable and hipped roofs at a minimum of 24 degrees and a maximum of 30 degrees.
- Skillion and flat roofs can be lower in pitch.
- Roof styles are to be predominantly flat, gable, hipped or skillion style.
- Roof forms are not to be excessively obtrusive or likely to cause loss of amenity to the streetscape or neighbours.
- Appropriate use of eaves, pergolas, screens, awnings, and louvres should be

incorporated into the dwelling and roof design to provide protection to the north, east and west facing windows.



Figure 13: Example of a mix of articulation and roof styles to be used in Precinct E Source: Fraser's Property.



Figure 14: Mix of roof styles Source: Fraser's Property

## 4.4 Universal Design & Sustainability

### Objective

Universal design features are included in dwelling design to promote flexible housing for all community members.

### Design Requirements

25% of the medium density housing is to include the Liveable Housing Design Guideline's silver level universal design features. This requirement does not apply to the medium density apartment dwellings.

These guidelines are underpinned by sustainability principles. All medium density housing is to be designed with environmental sustainability measures and comply with current BASIX and NATHERS standards.

Minimising energy consumption of households is an important contribution to reducing greenhouse emissions and contribute to climate change. Use of building materials that contribute to the building's sustainability performance should be encouraged.

### Energy Efficiency and Passive Solar Design

Shell Cove experiences a warm humid summer and mild winters. The following principles should be considered when designing medium density housing:

#### Design Requirements

- Orient living spaces with large openings to the north where practicable.
- Incorporate operable windows and louvres to allow for cross ventilation,

natural airflow and to take advantage of breezes.

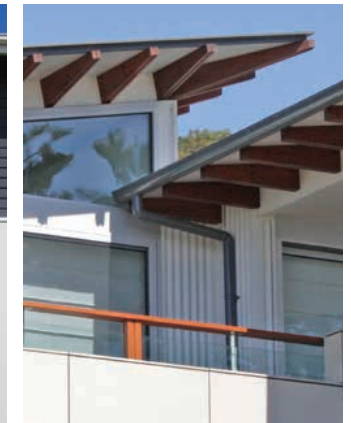
- Install insulation to walls and roofs.
- Incorporate deciduous trees for summer shade and winter sun.
- Use light coloured roofs to reflect heat.
- Incorporate sun control devices where practicable such as eaves, awning or shade devices to allow sunlight into the building during winter and to provide shade in summer.



Shading devices



Sun control devices



Overhanging eaves

## 4.5 Exterior Design Palette

The choice of external materials and colours should relate to the natural and visual character of the Shell Cove landscape.

finishes should be suitable for coastal conditions, for example exposure grade bricks.

The principal base colours of buildings should be natural, with stronger accent colours to be used on specific building elements such as screens, projecting blade walls, sun shading, pergolas, balconies, gutters and trim.

Design requirements

- Where masonry is used, this is preferred on the base of the building with lightweight materials used for the upper levels.
- Composition of materials such as weatherboards, glass, masonry, timber and expressed steel elements are encouraged to add variation.

### Objectives



Figure 15: Example of coastal colour and material palette to be reinterpreted in the design Source: Frasers

Preferred Materials & Colours

Element	Preferred Materials	Preferred Colours
Solid Walls	Masonry (lower walls) can include:	Cladding (all walls):
	<ul style="list-style-type: none"> <li>Sandstone or stacked natural stone (not vitrified tile equivalents).</li> <li>Rendered, bagged or painted blockwork or brickwork.</li> <li>Face brickwork - smooth face preferred.</li> <li>Highly textured bricks will not be approved.</li> <li>Split face, honed or smooth face block work.</li> <li>All brickwork and associated fittings are to be coastal rated.</li> </ul>	<ul style="list-style-type: none"> <li>Timber</li> <li>Weatherboard</li> <li>Plywood</li> <li>Pre-finished metal</li> <li>Zinc</li> <li>Copper</li> <li>Rendered Blue Board</li> <li>Painted CFC</li> </ul>
Roofs, Gutters & Downpipes	<ul style="list-style-type: none"> <li>Metal roof sheeting is preferred</li> <li>Selected flat profile tiles may be approved on merit</li> <li>Rainwater heads and expressed downpipes to be in folded metal</li> <li>Colorbond standard profile gutters to match the roof, or stainless steel in round / half round shapes</li> </ul>	<ul style="list-style-type: none"> <li>Natural colour of materials</li> <li>Timbers stained (in a range similar to the colour selection)</li> <li>Pre-finished sheet metal (selected Colorbond colours)</li> <li>Light coastal, natural hues, cream, grey, off white, sand.</li> <li>Strong accent colours for architectural interest.</li> </ul> <p>Note: Alternative wall materials may be approved based on design and merit.</p>
Windows	<ul style="list-style-type: none"> <li>Glass / timber / painted windows</li> <li>Aluminium, prefinished or natural anodised</li> <li>Window reveals which add expression to the building are preferred</li> </ul>	<ul style="list-style-type: none"> <li>Off-white and light colours preferred (to minimise heat gain)</li> <li>Pre-finished metal finished (colours similar to Colour Palette)</li> <li>Selected Colorbond roof colours are in light to mid tones being Surfmist, Evening Haze, Shale Grey, Dune, Windspray and Bushland.</li> <li>Must be suitable for coastal conditions.</li> <li>Black or highly reflective roofs are not permitted.</li> </ul>
Sunshade Devices	<ul style="list-style-type: none"> <li>Horizontal timber louvres / battens</li> <li>Aluminium louvres</li> <li>Canopy roofs compatible with main roofing</li> <li>Painted CFC / Folded metal sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Natural colours of materials</li> <li>Colour as per Colour Palette</li> <li>Powder coat colours equal to Colour Palette colours</li> <li>Can be accent colours</li> </ul>
Fencing (refer to Section 4.7 Walls & Fencing Detail)	<ul style="list-style-type: none"> <li>Timber pickets / slats</li> <li>Rendered / painted Masonry plinth and piers also honed or split faced</li> <li>Contemporary timber pickets / slats</li> <li>Painted steel pickets or flats</li> </ul>	<ul style="list-style-type: none"> <li>Natural colours of materials</li> <li>Colour as per Colour Palette</li> <li>Powder coat colours equal to Colour Palette colours</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>Timber / sheet metal / translucent panels</li> <li>Tilt-up panel doors preferred. Roller doors are not permitted.</li> </ul>	<ul style="list-style-type: none"> <li>Natural or stained timber is acceptable.</li> <li>Colour as per Colour Palette.</li> </ul>
Front Driveway/Pavement	<ul style="list-style-type: none"> <li>Plain concrete or exposed aggregate.</li> <li>Stamped, stenciled paving is not permitted.</li> </ul>	<ul style="list-style-type: none"> <li>Consider hard and soft driveway treatments.</li> </ul>

Table 4 is a summary of the preferred materials palette for medium density development within Precinct E. This table must be read in conjunction with the detailed Materials Palette in Appendix B.



## External Materials

Building facades of predominately lightweight materials are encouraged to contribute to the coastal character of the Shell Cove Precinct.

A cohesive material palette is encouraged as an integral part of the building design and vernacular of the street.

A detailed materials palette is included in Appendix B.

### Design requirements

- The creative use of contrasting/ complementary lightweight materials is encouraged particularly to upper building levels.
- Materials can include smooth face brick, rendered masonry, timber or reconstructed weatherboards, plywood, compressed fibre cement products and metal cladding.
- A mix of external materials is required.
- At least two complementary materials or finishes should be used for facade articulation.
- Durable, high quality materials should be used to ensure the buildings withstand the effects of time, the coastal conditions and the appearance of the streetscape.



Figure 16: Example of external building materials to be used in Precinct E. Source: Frasers

## 4.6 Sun Shading and Other Details

Details such as sun shading devices, balconies, downpipes and privacy screens should form an integral part of dwelling design. The following indicates the preferred detailing of these building elements.

### Sun shading, eaves and screens

#### Objectives

- Sun shading devices, screens and eaves should be designed to provide effective protection in a manner consistent with the Precinct E desired future character.

#### Design Requirements

- The use of timber battens, screens and sun shading devices is encouraged to create “outdoor rooms” for coastal living.
- Any security doors are to be simple and recessive with dark coloured mesh.

- Fly screens are to match window frame colours and be dark mesh.
- External security roller shutters to windows are not permitted.

### Gutters and Downpipes

#### Design Requirements

- Gutters and downpipes are to be integrated with the building architecture to avoid unsightly detailing and should reinforce the coastal character of Precinct E



Sun shading devices



Overhanging eaves

## 4.7 Walls and Fences

Walls and fences define the boundary between dwellings and the public domain and contribute to the quality, character and identity of the street.

The composition of fences and walls should provide a balance between opacity and transparency, with materials and colours that convey the contemporary coastal character of The Waterfront Shell Cove.

### Objectives

- Front walls and fences are designed to promote casual surveillance and community interaction.
- Side and rear walls and fences are to maintain privacy between adjoining dwellings.
- Dwellings adjacent to the public reserve should provide direct pedestrian access where practical and if ground levels permit.

### Design Requirements

The design of fences and walls is to:

- Clearly define boundaries between private and public spaces;
- Provide sight lines to the street and public domain to allow passive surveillance and increase safety;
- Provide for privacy, particularly for rear gardens and courtyards, without impacting on views, outlook, access to light and natural ventilation;
- Provide an articulated and varied interface with the street;
- Provide privacy for courtyards within the front setback;

- Provide dwelling address by integrating a letterbox and street number; and
- Incorporate landscaping where possible to soften the fence line and provide privacy where required.



A mix of materials



Incorporate mailboxes and landscaping



A mix of solid and transparent materials

## Front Fences

Front fences can provide for a unified streetscape and character. They define the public and private space.

At The Waterfront Shell Cove, front fencing requirements vary depending on the street address.

### Design Requirements

- Front fencing is mandatory for development addressing Harbour Boulevard and Wetland Park;
- Front fences are to provide permeable elements for passive surveillance to the street;
- Front fencing is mandatory where the lot addresses entry streets or public open space;
- Fencing colours and materials are to be

consistent with the main dwelling colours;

- Front fences will generally be 1.2m to 1.5m in height. Where front fencing abuts principal private open space, a 1.8m height can be considered;
- Fences are to be a maximum of 1.8m in height.

## Corner Fences & Fencing to Lane ways

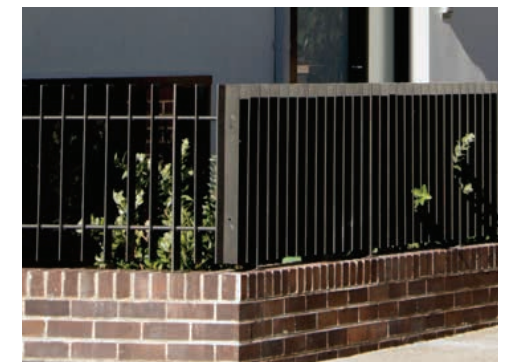
Corner and laneway fencing is to provide for private open space to the side or rear of dwellings, together with continuity of fencing to secondary streets and laneways.

### Design requirements

- Fences are to be maximum 1.8m high.
- Fences are to be constructed of:
  - Bagged or rendered or painted masonry walls;
  - Face brickwork or masonry (honed/

smooth blockwork) that complements the main dwelling;

- Horizontal timber battens with or without masonry piers;
- Or a combination of the above.
- Masonry or solid timber fencing should be used to screen service areas otherwise a semi-transparent character can be provided by horizontal boarding or battens.
- Colours and materials of fencing is to be in accordance with Section 4.5, i.e. masonry to match the dwelling, timber stained, natural finish or painted to complement the dwelling.
- Where Garden Studios address laneways, front fences must be used along the primary address and continue along the side boundary starting 1m behind the front building facade.
- For corner fences, these can be up to 50% of the length of the side lot boundary, aligned to the rear of the lot.
- As an alternative to the corner lot fences, the front fence or courtyard fence can continue along the secondary street frontage if preferred.
- Gates to driveways are permitted in corner lot fences where vehicle and parking access is provided from the secondary frontage at the rear of the lot.
- Provision of landscaping in laneways is encouraged to soften edges of walls and fences, which could be setback accordingly.
- Dwellings are to provide direct pedestrian access to the laneway.



## Side and Rear Fences

Side and rear dividing fences for typical medium density dwellings are to be:

- Maximum of 1.8m high;
- Metal Colorbond as per the Colour Palette.
- Masonry can be used for courtyards, if desired, and must relate to the materials/ colours of the dwelling;
- Metal fencing should have a simple profile without decorative trims or lattice;
- Side boundary fences are to start 1m behind the front building facade;
- Side and rear metal fencing is not permitted to any primary street or lane frontage.

## Retaining walls

For the majority of lots there is only a metre or less crossfall from front to back or side to side. Given the relatively level nature of the land, only low retaining walls, if any, will be required.

### Objectives

Retaining walls should be considered to be part of the landscape, and integrated with other fencing on boundaries.

### Design Requirements

- No higher than 1m.
- Generally be neutral elements (for example bagged brick, stone boulders or dry stone walls) and associated with planting.

- Retaining walls forward of the dwelling can be masonry to complementary to the dwelling design.
- Cribwall or treated pine logs are not acceptable.

## Private Access to Wetlands

Gates within the fencing to the wetlands will be provided (where ground levels are compatible and subject to detailed design) to allow direct access from the residential lots to the wetlands open space. The design and construction should make all efforts to provide compatible ground levels.

## 4.8 Service Areas and Auxiliary Structures for Medium Density Dwellings

Elements such as aerials, solar panels, air conditioners, gas and water meters, and storage structures are to be considered as integral parts of the dwelling design.

### Aerials, Antennae and Satellite Dishes

- Where television antennae or satellite dishes are required, they are to be located at the rear of dwellings away from public view.

### Storage and Bins

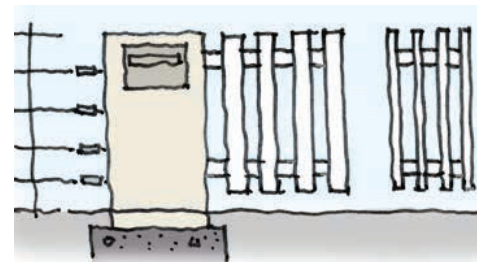
- Storage should preferably be incorporated into the main dwelling.
- Garbage bins are to be stored on your property and out of sight / screened from public view.

### Solar Water Heaters and Collectors

- Solar hot water heaters located on the roof should be screened from public view wherever possible. It is desirable that they are integrated with the slope of the roof.
- Tanks associated with solar hot water systems are not permitted on the roof.
- In the instance of north facing lots, photovoltaic panels where provided, should be integrated into roof design to minimise adverse impacts on the streetscape

### Mailboxes

- Mailboxes are to be integrated into the front fence masonry pier or metal palisade design.



Mailboxes to be integrated into front fence

### Services and Water Tanks

- Water and gas services, fuel storage tanks, gas, water and electricity meters and rainwater tanks are to be located away from public view.
- Where air conditioning is used, all equipment must be located away from public view. Any units should be mounted below 1.8m height on any external wall.
- Refuse storage areas, drying areas and clotheslines are to be located away from public view.
- Water collection is encouraged and required by BASIX. Above ground tanks that are visible from public view are to be adequately screened and should be similar in colour to the dwelling or be neutral.

### 5.1 Landscaping

The landscaping contributes to the quality of the street, unifies the character and integrates the built form with the surrounding coastal environment. It also provides for shade in the summer and some forms promote sun during winter. Innovative low water, native, coastal gardens are encouraged.

A Landscape Plan is required by Shellharbour City Council as part of the DA application. A Landscaping Palette is provided in Appendix C which details preferred species and plantings for front and rear gardens. These have been informed by Council's preferred species for planting.

#### Design Requirements

- Landscaping should be in accordance with the Landscaping Palette included at Appendix C.
- Plants to be selected based on the size and orientation of the garden areas with native species to be used where appropriate.
- Landscape treatments should flow from internal spaces of the home with connection to front access points from the street.
- Trees are to be planted in an edged garden bed and not directly within the turf area. Avoid planting trees close to dwellings, hard paved areas or over underground pipes.
- Table 1 provides for minimum private open space provisions and solar access requirements.
- Deciduous trees should be planted to the north, north-west and western elevations to shade the dwelling and garden from the summer afternoon sun, whilst allowing desirable winter sunlight through.

## 5.2 Front Landscaping

Landscaping of front gardens is to be completed within practical completion of the dwelling. Before, during and after construction, the property is required to be kept clear of excessive weeds, rubbish and maintained to an acceptable standard.

### Design Requirements

- All front garden areas must be properly landscaped with a combination shrubs, grasses, trees and turf.
- A garden bed with a consistent shrub species shall be planted across the front boundary, behind front fencing to form a uniform finish to the street.
- Turf should only be used where enough space is provided between the front hedge and the dwelling and where maintenance access is sufficient.
- Plants to be selected based on the size and orientation of the garden areas with native species to be used where appropriate.
- Landscape treatments should flow from internal spaces of the home with connection to front access points from the street.
- A minimum of one small tree shall be planted in the front yard of each lot, where suitable garden space of 1m x 1m is available. Each tree is to have a minimum pot size of 75L.
- All front garden areas must be properly landscaped with a combination shrubs, grasses, trees and turf.



Figure 17: Landscaping palette and species to be used in Precinct E Source: Frasers's Property



### 5.3 Rear Landscaping

Design Requirements

- Rear landscaping should be a combination of turf, screening shrubs and trees to the rear of the garden, with paved entertaining areas close to the dwelling.
- Deciduous trees should be planted to the north, north-west and western elevations to shade the dwelling and garden from the summer afternoon sun, whilst allowing desirable winter sunlight through.
- Hardscapes should be provided where appropriate for outdoor living opportunities and should generally be located within the principle private open space and to the side of the home where required.

- Plants to be selected based on the size and orientation of the garden areas with native species to be used where appropriate.
- The placement of plants should be used to provide screening and privacy.

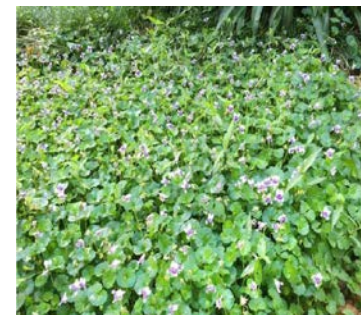


Figure 18: Landscaping species and palette to be used in Precinct E Source: Fraser's Property

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The following definitions apply to the terms used within these Design Guidelines:

**Ancillary structures** are external building attachments, such as satellite dishes, rainwater tanks, air conditioning systems, aerials, clothes lines and hot water storage tanks.

**Articulation zone** means an area within a lot within which building elements are or may be located. The articulation setback area from a primary road is measured horizontally from:

- a) the foremost edge of the building line, or
- b) a gable or roof parapet having a surface area of more than 10m<sup>2</sup>.

**Attached dwelling** is a dwelling built with a shared or party wall with another dwelling. Types of attached housing include duplexes and townhouses.

**Building height** (or **height of building**), means the vertical distance (in metres) between ground level (existing) and at the lowest point, to the highest point of the building, including architectural trim features plan and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like. Measured in Australian Height Datum (AHD).

**Building line** means the line of an existing or proposed external wall or roof edge of a building (other than a wall or roof of any building element within an articulation zone), or the outside face of any existing or proposed ancillary development, closest to a boundary of a lot.

**Character** means an expression of qualities which distinguish one locality from another. The character of one place is differentiated from another by features such as shape and slope of the land; tree canopy; views; building size and style and streetscape scale.

**Detached studio** means ancillary development including a fonzie flat that is habitable and is:

- a) established in conjunction with a dwelling house, and
- b) on the same lot of land as the dwelling house, and
- c) separate from the dwelling house.
- d) located above garage

Note. see 3.3 requirements for separately titling studios/fonzie flats.

A detached studio is not a secondary dwelling. Secondary dwellings are defined in the Shellharbour Local Environmental Plan 2013. Link here: <https://www.legislation.nsw.gov.au/#/view/EPI/2013/141>

When submitting a development application, the applicant is required to confirm the applicable dwelling definition(s) to allow Council to calculate the required development contributions

**Duplex** means two dwellings with a shared or party wall.

**Dwelling** means a building containing one

dwelling, an attached dwelling or a semi-detached dwelling, but does not include any part of the building that is ancillary development or exempt development.

**Garden Studio** is an attached duplex located on a corner lot with a splay.

**Ground level** is the level of the land surface before development is carried out, measured in Australian Height Datum (AHD).

**Habitable room** is a room, other than a bathroom, laundry, garage, water closet or the like, that is designed, constructed or adapted for the activities normally associated with domestic living.

**Lightweight external building materials** are cladding material and small section supporting posts and frames which give the external appearance of the relaxed character of the Shellharbour area (e.g. weatherboard, timber, corrugated iron, ply-wood etc.)

**Living area** is a term describing internal space used for domestic activities (e.g. lounge, family and dining rooms), excluding non-habitable rooms and bedrooms.

**Medium Density** refers to all other medium density building typologies that are not governed by the State Environmental Planning Policy No 65, and Apartment Design Guide.

**Northern Lands** The Design Guidelines identify and contemplate the inclusion of land that is currently outside the boundary of the Concept Approval. This land is proposed to be incorporated into Precinct E1 as part of a modification application to the Department of Planning and Environment under the provisions of Section 75W of the Environmental Planning and Assessment Act 1979. These lands are referred to as the 'northern lands' and are located towards the junction of Harbour Boulevard and Shellharbour Road.

**Primary street** means the street to which the front of a dwelling house, or a main building, on a lot faces or is proposed to face.

**Private Open Space** is defined as outdoor space located at ground level, or on a structure that is within private ownership and provided for the recreational use of residents of the associated dwelling. This includes circulation space and may contain minor encroachments such as pergola posts

and steps.

**Public view** means views from the public domain, such as roads, pathways and walking tracks, foreshore reserves, open space corridors and parks.

**Secondary street** means, in the case of a corner lot that has boundaries with adjacent streets, the road that is not the primary street.

**Setback** means the horizontal distance between the relevant boundary of the lot and the building line.

**Setback area** means the area between the building line and the relevant boundary of the lot.

**Site analysis** is a process of identifying and analysing key features of the site and immediate surroundings to assist in understanding how future homes will relate to your lot; neighbouring lots and The Waterfront Shell Cove neighbourhood.

**Small Lot Detached Dwelling** means a dwelling that is not attached to any other dwelling on a lot with a frontage of 13.5m or less that forms part of an integrated development application.

**Terrace** is a dwelling that is attached on one or more sides in a group of more than two dwellings with vehicular access from the rear.

**Townhouse** is a dwelling that is attached on one or more sides in a group of more than two dwellings with vehicular access at the front of the dwelling.

**Zero Lot Dwelling** is a dwelling that has an exterior wall on one of its side boundaries but is not attached to any other dwelling.

# Appendix B - Colour Palette

1	SURFMIST	1	SEA HAZE	1	SURFMIST	1	PROVINCIAL GREY	1	SHALE GREY	1	SURFMIST	1	SHALE GREY	1	SURFMIST	1	SURFMIST	1	STONEHENCE
2	SURFMIST	2	SURFMIST	2	SURFMIST	2	SURFMIST	2	PROVINCIAL GREY	2	SURFMIST	2	SURFMIST	2	SURFMIST	2	SURFMIST	2	SURFMIST
3	MORTAR	3	GREYHOUND	3	WALLABY	3	PROVINCIAL GREY	3	PROVINCIAL GREY	3	GREYHOUND	3	GREYHOUND	3	PROVINCIAL GREY	3	STONEHENCE	3	STONEHENCE
SAHARA																			
SILVER GUM																			
NIGHT SKY																			
AUSTRAL BRICK SYMMETRY ASHPART				AUSTRAL BRICK BOWRAL BRICKS BROWN				AUSTRAL BRICK BOWRAL BRICKS BRANNAN GRANITE				AUSTRAL BRICK ULTRA SMOOTH CHILL				AUSTRAL BRICK LA PALOMA GAUDI			
4	EVER GOLD																		
5	GREENVALE																		
6	MATLOCK BROWN																		
6	COOL TRM																		
7	STURGEON																		
8	BRIMSTONE																		
9	TORNADO																		
10	TREACLE																		
11	COLORBOND SURFMIST																		
12	COLORBOND SHALE GREY																		
13	COLORBOND WALLABY																		
14	COLORBOND MONUMENT																		
COLORBOND WINDSPRAY																			

# Appendix C - Planting Palettes

## DESIGN GUIDELINES FOR MEDIUM DENSITY HOUSING & APARTMENTS - PRECINCT E2

INFORMAL  
Contrasts of grey and green foliage with large leaved accents

### PLANT PALETTE 1

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
<b>TREES</b>					
Eu	<i>Eucalyptus eumundii</i>	Eumundi Quandong	100L	100L	8m
Er	<i>Eucalyptus reticulatus</i> 'Primo Donna'	Bulleberry Ash	100L	100L	9m
Tll	<i>Wisteria sp.</i> 'Luscious'	Luscious Water Gum	100L	100L	12m
Pc	<i>Pinus calleryana</i>	Chanticleer Ornamental Pear	100L	100L	7m
<b>SMALL SHRUBS</b>					
Aam	<i>Acmenanthe 'Allyn Magic'</i>	Allyn Magic Lillypilly	300mm	300mm	1m
Rop	<i>Raphiolepis 'Oriental Pear'</i>	Raphiolepis	300mm	300mm	1m
Rsm	<i>Raphiolepis 'Snow Maiden'</i>	Raphiolepis	300mm	300mm	1m
<b>ACCENTS/FEATURES</b>					
Ag	<i>Agave attenuata</i>	Soft-leaved Agave	300mm	300mm	1m
De	<i>Doryanthes excelsa</i>	Gymea Lily	300mm	300mm	2m
Zf	<i>Zamia furfuracea</i>	Carribood Palm	200mm	200mm	1m
<b>GROUNDCOVERS</b>					
Con	<i>Convulvulus crearonum</i>	Convulvulus	140mm	140mm	0.6m
Com	<i>Convulvulus montianicus</i>	Convulvulus	140mm	140mm	0.6m
Dsf	<i>Dichondra 'Silver Falls'</i>	Dichondra Silver Falls	140mm	140mm	0.3m
Sep	<i>Senecio serpens</i>	Blue Chalk Sticks	200mm	200mm	0.3m
<b>SCREENING</b>					
Alp	<i>Alphitonia casuileia</i>	Native Ginger	200mm	200mm	3m
Aiz	<i>Alphitonia zumbel</i>	Shell Ginger	200mm	200mm	2.5m
Cg	<i>Cordyline glauca</i>	Falcon Cordyline	300mm	300mm	3m
Mf	<i>Michelia lipo</i>	Port Wine Magnolia	300mm	300mm	3m
Re	<i>Rhapis excelsa</i>	Lady Palm	300mm	300mm	3m



TREES



SHRUBS



ACCENTS/FEATURES



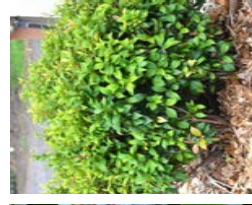
GROUND COVERS



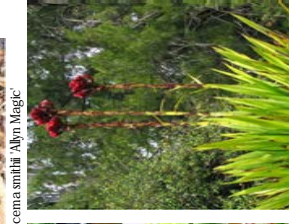
Trees



Pyms



Agave



Acemna umbilata 'Allyn Magic'



Convulvulus

Senecio

PROJECT	NEW RESIDENCE	DATE	1:100 @ A3
CLIENT	FRASERS PROPERTY GROUP	DESIGNER	GC
ARCHITECT	FRASERS PTY LIMITED	DATE	04-05-17
SCALE	PLANT PALETTE SCHEDULES	REVISION	A

# Appendix C - Planting Palettes

COLOURED ACCENTS  
Coloured accent plants to either the low or mid layered plantings

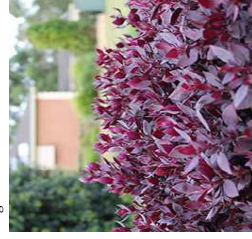
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
<b>TREES</b>					
Hib	Hibiscus 'Flaccus Rubra'	Red Cottonwood	100L	8m	
Mig	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	100L	5m	
Mak	Magnolia grandiflora 'Teddy Bear'	Magnolia	100L	5m	
WT	Waterhousea tuberosa 'Amanoa'	Weeping Lily-Pilly	100L	8m	
<b>SMALL SHRUBS</b>					
Alr	Altemanthera 'Little Ruby'	Dwarf Altemanthera	200mm	0.4m	
Cgf	Callistemon 'Crest Balls of Fire'	Bottlebrush	300mm	1.75m	
<b>ACCENTS/FEATURES</b>					
Cm	Clivia miniata	Clivia	200mm	0.5m	
De	Doronicum acaule	Gymea Lily	300mm	2m	
<b>GROUNDCOVERS</b>					
Al	Alphacarpus Collinsii 'Giant'	Bugle Weed	140mm	0.3m	
Cgl	Casuarina glauca 'Cousin I'	Prostrate Swamp Oak	140mm	0.1m	
Dij	Dianella caerulea 'Little Joss'	King Alfred Flax Lily	140mm	0.4m	
Lme	Liriodendron 'Evergreen Giant'	Giant Lilac	140mm	0.7m	
Tas	Trachypogon plumosus	Japanese Star Jasmine	140mm	Up to 6m	
Tj	Trachelospermum jasminoides	Star Jasmine	140mm	0.5m	
Tc	Tulbaghia violacea 'Vargated Society Gothic'	Vargated Society Gothic	140mm	0.3m	
Vh	Viburnum hederaeifolium	Native Vogel	140mm	0.1m	
<b>SCREENING</b>					
Alp	Alphitoea caerulea	Native Gringer	200mm	3m	
Alz	Alphitoea zeyheriifolia	Shrub Gringer	200mm	2.5m	
Cg	Carex flaccida	Falcum Cordyline	300mm	3m	
Mi	Michelia figo	Port Wine Magnolia	300mm	3m	
Re	Rhipsalis exonioides	Lady Palm	300mm	3m	



TREES



SHRUBS



Waterhousea

Hibiscus



ACCENTS/FEATURES



Callistemon 'Great Balls of Fire'



GROUND COVERS



Liriodendron



Caprobrotus

Viola

Brachyscome

DATE	ISSUED TO CLIENT FOR COMMENT	DATE	TIME	BY
		GC	MD	MR/PT
PROJECT	SHELL COVE LANDSCAPE PALETTE 2	NEW RESIDENCE		
		PLANT PALETTE SCHEDULES		
SCALE	1:100 @ A3	CNPT	L-02	
		GC	MD	04-05-17
FRASERS PROPERTY GROUP		FRASERS PTY LIMITED		

# Appendix C - Planting Palettes

CLASSIC TROPICAL.  
Classic green foliage  
with white flowers

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
<b>PLANT PALETTE 3</b>					
<b>TREES</b>					
Ac	Achrotophoenix cunninghamiana	Bongalow Palm	4SL	4SL	15m
Ca	Cupanpis amaranthoides	Luciano	100L	10m	10m
Dd	Dioscorea alata	Dragon Blood	4SL	5m	5m
Dyl	Dysoxylum	Golden Cone Palm	4SL	8m	8m
Pa	Plumetia acutiloba	White Frangipani	100L	6m	6m
<b>SMALL SHRUBS</b>					
Dur	Duranta Shirena's Gold	Shirena's Mingold A Duranta	200mm	2m	2m
Gef	Gardenia augusta 'Fokida'	Fokida Gardenia	300mm	0.8m	0.8m
Gar	Gardenia argentea 'Radicans'	Rock Gardenia	200mm	0.5m	0.5m
Pe	Philippinum tabula 'Miss Muffet'	Dwarf Philippinum	300mm	1m	1m
<b>ACCENTS/FEATURES</b>					
Ac	Azadirachta indica	NZ Rock Lily	140mm	0.5m	0.5m
Aa	Asplenium australasicum	Broad Nest Fern	200mm	0.5m	0.5m
Cr	Cycas revoluta	Sago Palm, Cycad	300mm	1m	1m
Px	Philodendron Xanadu'	Philodendron	300mm	0.5m	0.5m
<b>GROUND COVERS</b>					
Bm	Baccharis multifida	Cool Leaf Daisy	140mm	0.3m	0.3m
Cpl	Carpatholobos graucoceras	Fig face	140mm	0.2m	0.2m
Dlj	Dianella caerulea 'Little Joss'	King Alfred Box Lily	140mm	0.4m	0.4m
Dsf	Dichondra Silver Falls'	Dichondra Silver Falls	140mm	0.3m	0.3m
Vh	Viola hederacea	Native Violet	140mm	0.1m	0.1m
<b>SCREENING</b>					
Alp	Alphitonia caerulea	Native Ginger	200mm	3m	3m
Alz	Alpinia zerumbet	Shell Ginger	200mm	2.5m	2.5m
Cg	Cardinalis gaussonia	Falcon Cardinal	300mm	3m	3m
Mf	Mitella fpa	Pink White Magnolia	300mm	3m	3m
Re	Rhapiz excollo	Loaf Palm	300mm	3m	3m



TREES



Cupanpis



Achrotophoenix



SHRUBS



Plumetia



Duranta



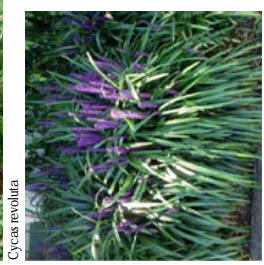
Gasteria



Philodendron



Anthopodium



Cycas revoluta



Trachelopecanum



Dianella

PROJECT	NEW RESIDENCE	
	PLANT PALETTE SCHEDULES	
SCALE	1:100 @ A3	
	GC	MD
DATE	04.05.17	
	A	
PROJECT	SHELL COVE LANDSCAPE PALETTE 3	
	FRASERS PROPERTY GROUP PTY LIMITED	
PROJECT	FRASERS PROPERTY GROUP	
	PTV LIMITED	
PROJECT	FRASERS PROPERTY GROUP	
	PTV LIMITED	
PROJECT	FRASERS PROPERTY GROUP	
	PTV LIMITED	





THE WATERFRONT  
SHELL COVE